



THE CITY OF WINNIPEG

EXPRESSION OF INTEREST

EOI NO. 278-2025

**DEVELOPMENT OF 425 OSBORNE INTO A VERTICAL RESIDENTIAL/OFFICE
MIXED-USE PROJECT**

Attention Respondents:

The Information Submission should be submitted directly to the
following City email address: HAF@winnipeg.ca.

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FORM A: EXPRESSION OF INTEREST APPLICATION

1. Document Title _____

2. Respondent

Name of Respondent

Usual Business Name of Respondent (if different from above)

Street

City

Province

Postal Code

Email Address of Respondent

Facsimile Number

(Mailing address if different)

Street or P.O. Box

City

Province

Postal Code

GST Registration Number (if applicable)

(Choose one)

The Respondent is:

☐ a sole proprietor

☐ a partnership

☐ a corporation

carrying on business under the above name.

3. Contact Person

The Respondent hereby authorizes the following contact person to represent the Respondent for purposes of the Information Submission.

Contact Person

Title

Telephone Number

Email Address

4. Addenda

The Respondent certifies that the following addenda have been received and agrees that they shall be deemed to form a part of the Information Submission:

No.		Dated	
_____		_____	
_____		_____	
_____		_____	
_____		_____	
_____		_____	

5. Indigenous Self-Declaration

The City is requesting that Proponents identify if their business is at least 51% owned by one or more Indigenous persons of Canada.

☐ YES, 51% or more Indigenous ownership

☐ NO, it is not

This information is being gathered for statistical purposes only and will not be used for purposes of evaluation.

6. Signatures

The Respondent or the Respondent's authorized official or officials have signed this

_____ day of _____, 20_____.

Signature of Respondent or
Respondent's Authorized Official or Officials

(Print here name and official capacity of individual whose signature appears above)

(Print here name and official capacity of individual whose signature appears above)

PART B - REQUEST FOR EXPRESSION OF INTEREST

B1. DEFINITIONS

B1.1 When used in this Expression of Interest:

- (a) **"Affordable Housing"** means one of the following:
 - (i) Less than 80% of the Median Market Rent for the area, in line with CMHC's Affordable Housing Fund Criteria, maintained, at minimum, for twenty years; or
 - (ii) At [Province of Manitoba Affordable Housing rental rates](#), maintained, at minimum, for twenty years.
- (b) **"Business Day"** means any Calendar Day, other than a Saturday, Sunday, or a Statutory or Civic Holiday;
- (c) **"Calendar Day"** means the period from one midnight to the following midnight;
- (d) **"City"** means the City of Winnipeg as continued under The City of Winnipeg Charter, Statutes of Manitoba 2002, c. 39, and any subsequent amendments thereto;
- (e) **"City Contact"** means the City's representative throughout the duration of the Expression of Interest who has the authority to act on behalf of the City to the extent expressly provided for in this Expression of Interest.
- (f) **"City Council"** means the Council of the City of Winnipeg;
- (g) **"may"** indicates an allowable action or feature which will not be evaluated;
- (h) **"must"** or **"shall"** indicates a mandatory requirement which will be evaluated on a pass/fail basis;
- (i) **"Person"** means an individual, firm, partnership, association or corporation, or any combination thereof, and includes heirs, administrators, executors or legal representatives of a person;
- (j) **"Respondent"** means any Person or consortium submitting an EOI Submission in response to this Expression of Interest;
- (k) **"should"** indicates a desirable action or feature which will be evaluated on a relative scale;
- (l) **"Site"** means the lands and other places on, under, in or through which the work is to be performed;
- (m) **"Submission or Information Submission"** means that portion of the Expression of Interest which must be completed or provided and submitted by the Submission Deadline;
- (n) **"Submission Deadline"** means the time and date for final receipt of Submissions.

B2. BACKGROUND

- B2.1 On December 5, 2023, the Government of Canada, through the Canada Mortgage and Housing Corporation (CMHC), entered into an agreement with the City of Winnipeg for \$122.4 million in funding from the Housing Accelerator Fund (HAF).
- B2.2 The HAF funding is contingent upon the City achieving a total of 14,101 building-permitted housing units over a three-year period. This includes 3,166 net new units specifically enabled by HAF initiatives, with the remaining 10,935 units expected to be permitted without HAF support.
- B2.3 One of the key initiatives within the City's agreement with CMHC is the creation of a Land Enhancement Office (LEO). This office is intended to meet the objectives of the CMHC agreement by facilitating the development of affordable, supportive and mixed-income housing on strategic City-owned land. This would include preparing City-owned land for sale/lease to non-profits, Indigenous groups, and housing developers to build affordable housing.

- B2.4 The unit targets for the LEO over the 3-year agreement is to get to 611 building permits on City-owned land by December 2026. This will include 545 units within close proximity to the Frequent Transit Network and 313 affordable units.
- B2.5 On September 26, 2024, Council [amended the Real Estate Policy Framework](#) in support of affordable housing. This amendment provided delegated authority to the CAO to approve any sale or lease, for any amount, regardless of appraised value intended for affordable housing, subject to a sale/lease condition that the land must remain affordable housing through the life of the agreement on the following properties:
- (a) 825 Taché Avenue
 - (b) 795 William Avenue
 - (c) 395 Pacific Avenue
 - (d) 425 Osborne Street
 - (e) 1350 Pembina Highway
 - (f) 545-569 Watt Street
 - (g) 22 Granite Way
- B2.6 The [September 26, 2024 Council amendment](#) also stipulated evaluation criteria for the properties to be publicly marketed for sale or lease identified in B2.5, subject to any minor modifications necessary to implement this intent. Evaluation criteria approved by Council is outlined in B18.5, which will be used to evaluate responses to this EOI. This amendment also required that all lease or sale agreements intended for affordable housing and coordinated through the HAF program include a condition for plan approval by the relevant Community Committee.
- B2.7 On [December 12, 2024, Council Approved an amendment](#) to the City of Winnipeg Zoning By-law No. 200/2006 to add the Malls and Corridors PDO-1. This amendment has increased the development rights of properties along Urban and Mixed-Use Corridors or within Regional Mixed-Use Centres. Key aspects of the PDO as it relates to 425 Osborne include:
- (a) No maximum density
 - (b) A form-based approach to site and building design requirements
 - (c) Maximum height limits are modified, depending on corridor width
- B2.8 On January 28, 2021, [Council approved the acquisition of 425 Osborne Street](#). The acquisition of 425 Osborne Street represents a critical piece of vacant real estate adjacent to the Fort Rouge Transit Garage and will allow for the future expansion of the Fort Rouge site. Currently, Transit is renting out office space at 414 Osborne Street. The development of this property will allow Transit to bring staff together within a campus setting.

B3. PURPOSE OF THE EXPRESSION OF INTEREST DOCUMENT

- B3.1 The purpose of this Expression of Interest (EOI) is to identify an experienced and capable Respondent to work with the City in developing 425 Osborne Street into a vertical residential/office mixed-use project with affordable housing.
- B3.2 The City of Winnipeg is seeking innovative and feasible structuring approaches for the development of 425 Osborne, ensuring that:
- (a) The City retains ownership of the land.
 - (b) The City retains ownership of at least two floors (depending on transit needs, building footprint and design) of Transit office/commercial space within the development, including the main floor.
 - (c) The Respondent is responsible for financing and constructing the development. The City will enter into a financial agreement with the respondent to reimburse the City's portion of

the costs of construction associated with the City's office/commercial space. This reimbursement may be structured through a series of payments, to be determined in subsequent negotiations, and could be based on milestones such as the completion of specific phases of the development. The respondent will be responsible for the residential portion of the development, including any related leases, ownership arrangements, or other necessary financial obligations associated with that portion.

- (d) Upon completion of the project, the City will continue to hold ownership of the land and at least two floors of office space, while the respondent will retain leasehold interest or other ownership arrangement as per B3.7 in the residential floors, subject to the financial agreement. The specific terms and timing of the City's reimbursement to the Respondent, including any interest or returns on investment, will be subject to further negotiation and defined in the final legal agreements.
- (e) The Respondent is responsible for operating the residential portion of the development, including the affordable housing component. The affordable housing component must remain affordable for the lifetime of the agreement with the City.

B3.3 Transit is seeking to add office and customer service space at 425 Osborne Street to supplement the main Transit Campus at 421 Osborne Street, commonly known as the Fort Rouge Transit Base. The City is currently in the process of determining the exact square footage required for the office space and customer service areas associated with this development. Respondents are encouraged to build in flexibility in their proposal to account for this. While the specific needs are still being finalized, the guidance provided to Respondents on the anticipated City space requirements will be based on the following:

- (a) Administrative office space, at or above grade (approximately 28,000 square feet).
- (b) Customer service space, Winnipeg Transit Plus eligibility assessment area, and potential display area for heritage bus (approximately 10,000 square feet). This should be located at-grade.
- (c) Storage / admin area for customer service (approximately 4,500 square feet).
- (d) 12-15 parking spaces for visitors during business hours.

B3.4 Creative solutions for shared parking between uses are encouraged.

B3.5 Currently, Council has not approved a budget for the transit space.

B3.6 Council approval of this Site as part of the HAF Land Enhancement Office indicates the intention to see increased housing supply, including affordable housing units. Respondents will be expected to maximize housing units and affordable housing.

B3.7 Respondents are invited to propose a legal and financial structure and rationale for the chosen structure, including how it meets the objectives of both parties. Potential models may include, but not be limited to:

- (a) A long-term air rights lease allowing the respondent to construct and operate residential portions of the building.
- (b) A joint venture or limited partnership, where the City contributes the land and retains ownership of specific portions of the development while partnering with a respondent for financing and operations.
- (c) Any other ownership structure which meets the City's stated intentions.

B3.8 The development may include social amenity space, such as a daycare or other amenity that provides positive social impacts to building tenants/residents or the broader community.

B3.9 The City encourages creative yet practical approaches that maximize development potential while ensuring the City's long-term operational and ownership interests are maintained.

B3.10 The City invites qualified Persons to submit an Information Submission in response to this EOI.

- B3.11 After receiving the Submissions to this EOI, the City will review all Submissions received and use the information to make an informed decision which may proceed to direct negotiations with one or more Respondents or the issuance of a Request for Proposal (RFP), if in the opinion of the City, it is advantageous to do so. Notwithstanding the above intentions, the City will have no obligation to enter into negotiations or a Contract with a Respondent or issue a subsequent RFP.

B4. PROPERTY INFORMATION

B4.1 Location

- (a) 425 Osborne Street (See Schedule A).

B4.2 Size, Assessment and Title

- (a) Site Size: approximately 24,804 square feet.
(b) Assessment: \$1,561,000 (Roll # 12015153200)
(c) Certificate of Title: 3116804/1
(d) Legal Description:
(i) FIRSTLY: LOTS 1, 2 AND 3 BLOCK 3 PLAN 301 WLTO IN RL 28 PARISH OF ST BONIFACE
(ii) SECONDLY: LOTS 29 TO 32 BLOCK 10 PLAN 319 WLTO EXC OUT OF SAID LOTS 29 AND 30 LANE PLAN 8411 WLTO IN RL 29 PARISH OF ST BONIFACE
(iii) THIRDLY: PARCEL 1 PLAN 8411 WLTO IN RL 28 PARISH OF ST BONIFACE

B4.3 Zoning and Land Use

- (a) The Site is currently vacant and was formerly a gas station.
(b) The property is zoned Zoned C3 – Commercial Corridor, and falls within the Malls and Corridors Planned Development Overlay.

B4.4 Servicing

- (a) A Municipal Servicing Report completed by Barnes and Duncan on January 6, 2025 is included as Schedule “B”.
(b) Combined Sewer
(i) The Site is located in a combined sewer district. Clause 8 of Environment Act Licence 3042 applies, which means that the flow into the combined sewer cannot increase due to any development. The sum of the wastewater and land drainage peak discharge from future development into the combined sewer cannot exceed the allowable discharge rate of 24.55 L/s.
(ii) The post development land drainage connection shall be to the 1350 mm land drainage sewer north of the Site. Since this sewer is part of a separate land drainage system, this flow will not count towards the allowable combined sewer discharge rate. Only the peak overland land drainage runoff that enters the combined sewer will contribute to the allowable combined sewer discharge rate. The remaining capacity will be available for increased wastewater discharge.
(c) Land Drainage
(i) The allowable land drainage discharge rate from the Site is 24.54 L/s, based on a “c”-value of 0.35. Any existing connections and overland flows need to be accounted in the allowable discharge rate and on-site storage must be provided for the 25-year rainfall event.
(d) Water
(i) The available water servicing is adequate to support multi-family or commercial development.

B4.5 Environmental Assessments

- (a) The subject property is a contaminated site (listed as a Designated Impacted Site with Manitoba Conservation and Climate) that has not been remediated and was owned by Imperial Oil.
- (b) Additional information on the known contamination of the site can be found on the Province of Manitoba's Contaminated Sites Public Registry for this property:
https://manitoba.ca/sd/waste_management/contaminated_sites/registry/39794/index.html

B4.6 Geotechnical Studies

- (a) The City has not commissioned any geotechnical study for this property.

B4.7 Site Survey

- (a) A Site Survey was completed by Barnes and Duncan on January 6, 2025. A copy of the survey is included as Schedule "C".

B4.8 Caveat Emptor

- (a) The City makes no representations or warranties whatsoever with respect to the 425 Osborne Street property, including no representations or warranties regarding the quality, condition or sufficiency of the property.

B5. ENQUIRIES

B5.1 All enquiries shall be directed to the City Contact identified in B6.

B5.2 Any Respondent who has questions as to the meaning or intent of any part of this document or who believes this document contains any error, inconsistency or omission should make an enquiry prior to the Submission Deadline requesting clarification, interpretation or explanation in writing to the City Contact.

B5.3 If the Respondent finds errors, discrepancies or omissions in the document, or is unsure of the meaning or intent of any provision therein, the Respondent shall promptly notify the City Contact of the error, discrepancy or omission at least five (5) Business Days prior to the Submission Deadline.

B5.4 If the Respondent is unsure of the meaning or intent of any provision therein, the Respondent should request clarification as to the meaning or intent prior to the Submission Deadline.

B5.5 Responses to enquiries which, in the sole judgment of the City Contact, require a correction to or a clarification of the EOI will be provided by the City Contact to all Respondents by issuing an addendum.

B5.6 Responses to enquiries which, in the sole judgment of the City Contact, do not require a correction to or a clarification of the EOI will be provided by the City Contact only to the Respondent who made the enquiry.

B5.7 The Respondent shall not be entitled to rely on any response or interpretation received pursuant to B6 unless that response or interpretation is provided by the City Contact in writing.

B6. CITY CONTACT

B6.1 The City Contact is:

Richard Mahé

Land Enhancement Office Administrator

Telephone No. 204-986-8631

Email: rmahe@winnipeg.ca

B7. ADDENDA

- B7.1 The City Contact may, at any time prior to the Submission Deadline, issue addenda correcting errors, discrepancies or omissions in the EOI, or clarifying the meaning or intent of any provision therein.
- B7.2 The City Contact will issue each addendum at least two (2) Business Days prior to the Submission Deadline, or provide at least two (2) Business Days by extending the Submission Deadline.
- B7.3 Addenda will be available on the City's website-www.winnipeg.ca/landenhancementoffice and MERX website at www.merx.com.
- B7.3.1 The Respondent is responsible for ensuring that they have received all addenda and is advised to check the City's website or the MERX website for addenda regularly and shortly before the Submission Deadline, as may be amended by addendum.
- B7.4 The Respondent should acknowledge receipt of each addendum on Form A: Expression of Interest Application.

B8. CONFLICT OF INTEREST AND GOOD FAITH

- B8.1 Respondents must not include among their team, any business entity or individual who is, or is associated with, in any way, any consultant retained by the City in relation to the Project, including but not limited to consultants providing engineering, architectural, legal, process, finance or financial capacity advice or any Person likely to create a conflict of interest or a perception of conflict of interest.
- B8.2 If a Respondent considers that a particular relationship or association does not create a conflict of interest and will not create a perception of conflict of interest, but is concerned that the City could arrive at a different conclusion, the Respondent should fully disclose the circumstances to the City at the earliest possible date, and request that the City provide an advance interpretation as to whether the relationship or association will be likely to create a conflict of interest or a perception of conflict of interest.
- B8.3 The Respondent declares that in submitting their response to this EOI, it does so in good faith and will disclose to the best of their knowledge, whether there are any circumstances whereby any member of Council or any officer or employee of the City would gain any pecuniary interest, direct or indirect, as a result of the Respondents participation in this Project.
- B8.4 Failure to comply with this provision may result in disqualification of your Submission from the EOI process or, if the City becomes aware of your breach of this provision after the EOI has been issued, disqualification from the subsequent procurement process.

B9. CONFIDENTIALITY

- B9.1 Information provided to a Respondent by the City or acquired by a Respondent by way of further enquiries or through investigation is confidential. Such information shall not be used or disclosed in any way without the prior written authorization of the Contract Administrator. The use and disclosure of the confidential information shall not apply to information which:
- (a) was known to the Respondent before receipt hereof; or
 - (b) becomes publicly known other than through the Respondent; or
 - (c) is disclosed pursuant to the requirements of a governmental authority or judicial order.

- B9.2 The Respondent shall not make any statement of fact or opinion regarding any aspect of the EOI to the media or any member of the public without the prior written authorization of the City Contact.

B10. NON-DISCLOSURE

- B10.1 Respondents must not disclose any details pertaining to their EOI in whole or in part to anyone not specifically involved in their Submission, without the prior written approval of the City. Respondents shall not issue a news release or other public announcement pertaining to details of their Information Submission without the prior written approval of the City.
- B10.2 Respondents are advised that an attempt on the part of any Respondent or any of their employees, agents, contractors or representatives to contact any members of City Council or their staff or any member of City Administration other than the City Contact with respect to this EOI solicitation, may lead to disqualification in any subsequent procurement process.

B11. RESPONDENT'S COSTS AND EXPENSES

- B11.1 Respondents are solely responsible for their own costs and expenses in preparing and submitting an Information Submission and participating in the EOI, including the provision of any additional information or attendance at meetings or demonstrations of the product(s).

B12. NO CONTRACT

- B12.1 By submitting an Information Submission and participating in the process as outlined in this document, Respondents expressly agree that no contract of any kind is formed under, or arises from this EOI, and that no legal obligations will arise. The City will have no obligation to enter into negotiations or a Contract with a Respondent.
- B12.2 Without limiting the generality of the foregoing, the City reserves the right and the full power to amend or cancel this EOI at any time.

SUBMISSION INSTRUCTIONS

B13. SUBMISSION DEADLINE

- B13.1 The Submission Deadline should be April 28, 2025 at 12:00 noon. Winnipeg time.
- B13.2 The City Contact or the Manager of Purchasing may extend the Submission Deadline by issuing an addendum at any time prior to the time and date specified in B13.1.
- B13.3 The Information Submission should be submitted directly to the following City email address: HAF@winnipeg.ca.
- B13.4 EOI Submissions submitted by facsimile transmission (fax) or by paper copy will not be accepted.

B14. OPENING OF SUBMISSION AND RELEASE OF INFORMATION

- B14.1 Information Submissions will not be opened publicly.

B15. INFORMATION SUBMISSION

- B15.1 The Information Submission should consist of the following components:
- (a) Form A: Expression of Interest Application (Section A);

- (b) Information to be supplied by Respondent as part of EOI Submission located in B17 (Section B).

- B15.3 All requirements of the EOI should be fully completed or provided, and submitted by the Respondent no later than the Submission Deadline, with all required entries made clearly and completely.
- B15.4 All Submissions received in response to this EOI will be kept in confidence with the sole purposes of evaluating and developing the best possible strategic option for the City.
- B15.5 Submissions and the information they contain will be the property of the City upon receipt. No Submissions will be returned.
- B15.6 The Respondent is advised any information contained in any Submission may be released if required by The Freedom of Information and Protection of Privacy Act (Manitoba), by other authorities having jurisdiction, or by law or by City policy or procedures (which may include access by members of City Council).
- B15.6.1 To the extent permitted, the City shall treat as confidential information, those aspects of a Proposal Submission identified by the Respondent as such in accordance with and by reference to Part 2, Section 17 or Section 18 or Section 26 of The Freedom of Information and Protection of Privacy Act (Manitoba), as amended.
- B15.7 Should a Respondent require access to the City lands to perform due diligence concerning the 425 Osborne property (e.g. geotechnical study or environmental assessment), the Respondent will enter into the necessary agreements with the City to permit investigations.

B16. FORM A: EXPRESSION OF INTEREST APPLICATION (SECTION A)

- B16.1 Further to B15.1(a), the Respondent should complete Form A: Expression of Interest Application, making all required entries.
- B16.2 Paragraph 2 of Form A: Expression of Interest Application shall be completed in accordance with the following requirements:
- (a) if the Respondent is a sole proprietor carrying on business in their own name, their name shall be inserted;
 - (b) if the Respondent is a partnership, the full name of the partnership shall be inserted;
 - (c) if the Respondent is a corporation, the full name of the corporation shall be inserted;
 - (d) if the Respondent is carrying on business under a name other than their own, the business name and the name of every partner or corporation who is the owner of such business name shall be inserted.
- B16.2.1 If the Submission is submitted jointly by two or more persons, each and all such persons shall identify themselves in accordance with B16.2.
- B16.3 In Paragraph 3 of Form A: Expression of Interest Application, the Respondent shall identify a contact person who is authorized to represent the Respondent for purposes of this EOI.
- B16.4 Paragraph 6 of Form A: Expression of Interest Application should be signed in accordance with the following requirements:
- (a) if the Respondent is sole proprietor carrying of business in their own name, it shall be signed by the Respondent;
 - (b) if the Respondent is a partnership, it shall be signed by the partner or partners who have authority to sign for the partnership;
 - (c) if the Respondent is a corporation, it shall be signed by their duly authorized officer or officers and the corporate seal, if the corporation has one, should be affixed;

- (d) if the Respondent is carrying on business under a name other than their own, it shall be signed by the registered owner of the business name or by the registered owner's authorized officials if the owner is a partnership or a corporation.

B16.5 The name and official capacity of all individuals signing Form A: Expression of Interest Application should be entered below such signatures.

B16.6 If a Submission is submitted jointly by two or more persons, the word "Respondent" shall mean each and all such persons, and the undertakings, covenants and obligations of such joint Respondents in the Submission, shall be both jointly and several.

B17. INFORMATION TO BE SUPPLIED BY RESPONDENT AS PART OF EOI SUBMISSION (SECTION B)

B17.1 Executive Summary

- (a) Provide a high-level summary of the proposed project and approach.
- (b) Confirmation of the City's requirements as per B3 (e.g. land ownership, transit space, etc.)

B17.2 Respondent Information

- (a) Contact information, including name, address and telephone number of all Principals associated with the EOI Submission.
- (b) Organization type (i.e. non-profit, for profit), including if the organization is an indigenous-led organization.
- (c) A brief description of the organizational structure comprising the Respondent, including an organization chart or other supporting documentation.

B17.3 Respondent Experience

- (a) Organizational profile (company history, structure, ownership details).
- (b) Description of key staff/team member roles to be involved in the Respondent's project, their associated professional qualifications, and prior related experience.
- (c) A list and description of projects carried out by the Respondent prior, if any.
- (d) Provide reference contact(s) concerning previous projects.

B17.4 If the Respondent is part of a partnership arrangement, all partners should provide information as per B17.2 and B17.3.

B17.5 Details of the Development

- (a) A description of the Respondent's development intentions for the property. This should include:
 - (i) Vision for the site, including high-level concept for the mixed-use development.
 - (ii) Site design approach, including how the development integrates with the surrounding area (building heights, etc.).
 - (iii) Transit integration, including the approach to ensuring the City's transit operations are accommodated (e.g. how much square footage will be allocated for the City's Transit offices).
 - (iv) Sustainability and urban design considerations (e.g. green building and accessibility features).
 - (v) Describing how many market and non-market residential units, including the level and duration of affordability, and any intentions on unit sizes and/or number of intended accessible units, and of what definition.
 - (vi) Describing any additional details on the intended model for the residential units, such as any supports to be offered to tenants or populations targeted for tenancy.

- (b) A detailed description of the development structure and ownership model, including:
 - (i) Describing how governance, cost-sharing, and long-term management of shared elements (e.g., utilities, maintenance, common areas) would be handled.
 - (ii) Providing any legal, statutory, or financial considerations the City should be aware of.
- (c) Project timelines.
 - (i) Provide a high-level development timeline that would be needed to enable the proposed development proposal. This would include assumptions for City decision making timelines that would be needed to support the development.

B17.6 Funding Approach

- (a) Provide a high-level cost estimate for the proposed development.
- (b) Identify potential financing sources (private financing, grants, partnerships, etc.)
- (c) Revenue model (if applicable) and approach to long-term financial sustainability.

B17.7 Optional but Recommended

- (a) Conceptual renderings, site plan, floor plans, or massing studies (if available, to illustrate vision)
- (b) Letters of support or partnership commitments (if applicable).

B17.8 The EOI Submission should include relevant financial terms and conditions related to any agreement, plus any other relevant terms, conditions or assumptions for the legal structure being proposed.

B17.9 The EOI Submission should include any other information which the Respondent considers pertinent to the EOI.

B18. EOI EVALUATION AND REVIEW

B18.1 City will only consider EOI Submissions which, in the City's sole discretion and opinion, are the most advantageous and thorough.

B18.2 If, after this initial review, the City deems an EOI Submission to be unacceptable, the Respondent will be notified of same and no further discussions will be held.

B18.3 The City will notify all Respondents of the status of their submission, and may invite one or more Respondents to submit additional or clarifying details, regarding their EOI Submission.

B18.4 Additional or clarifying details may include, if applicable, consideration of phasing and servicing, assumptions regarding realty taxes (municipal taxes and school taxes), or other matters of interest to the City.

B18.5 Evaluation Criteria

- (a) Total offering price and potential tax revenue generated by the proposed development. (5%)
- (b) Total number of units and project description. (15%)
- (c) Evidence of available funding and project readiness/timing to complete the proposal. (25%)
- (d) Experience and/or history of successful projects and endeavors carried out by the Respondent. (25%)
- (e) Innovation, ownership and social impacts of the proposed development, including affordability criteria that include at least 30% of the units at: (30%)
 - (i) Less than 80% of the Median Market Rent for the area, in line with CMHC's Affordable Housing Fund Criteria, maintained for twenty years; or

- (ii) At Province of Manitoba Affordable Housing rental rates, maintained for twenty years.

B18.6 Negotiations

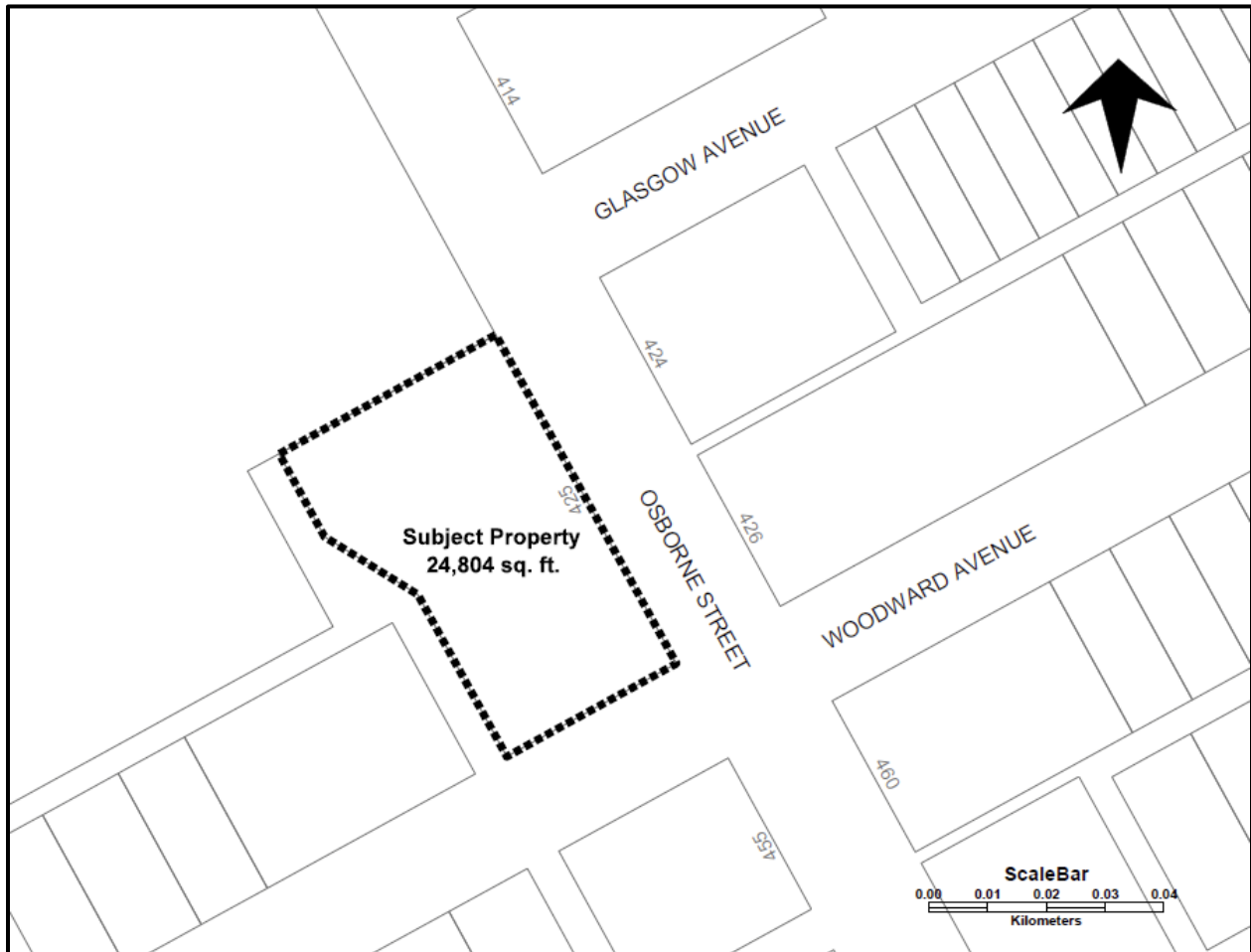
- (a) The City may enter into detailed negotiations with one or more Respondents which, in the City's sole discretion and opinion, is believed to have the most merit in consideration of the evaluation criteria. The EOI Submission of such a Respondent(s) may be further developed and finalized as a proposal for submission to and consideration by the CAO, which has the authority to approve or reject such proposal.

B18.7 RFP

- (a) The City may in their sole discretion and opinion reserve the right to issue an RFP instead of entering into negotiations with one or more Respondents.

PART C - SCHEDULES

C1. SCHEDULE "A" – SITE LOCATION



C2. SCHEDULE “B” – MUNICIPAL SERVICING REPORT

C3. SCHEDULE “C” – SITE SURVEY



SERVICING REPORT_R2

425 OSBORNE STREET, WINNIPEG, MB



Prepared for:
City of Winnipeg

Prepared by:
Barnes & Duncan



JANUARY 6, 2025

BARNES & DUNCAN
6 Donald St, Winnipeg, MB, Canada R3L 0K6

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Attention:

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and

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Water Distribution Planning & Development Engineer

In response to the Request for Proposal (RFP) No. 547-2024 Barnes & Duncan is submitting this
Servicing Report for 425 Osborne Street, Winnipeg, MB.

Introduction

The site is located at 425 Osborne Street, Winnipeg, MB. The site has an area of 2,305.27 m² (0.570 ac). The site is fronting by Osborne Street to the east, Woodward Avenue to the south, the closed Glasgow Avenue right-of-way (ROW) to the north, and a public lane to the west. The site is currently vacant, but there are numbers asphalt and gravel areas on the site. The following report will review Wastewater Servicing, Land Drainage Servicing, Combined Sewer Overflows, and Water Servicing. The lot is planned for a 100 MFU development with two levels of office space. Detailed plans for the proposed redevelopment of the site are not available at this time, so assumptions have been made.

To support the Servicing Report a series of Figures, and Appendices will be referenced.



Image 1: Subject Site, image from City of Winnipeg Property Map

Wastewater Servicing

The site is fronted by a 300mm clay combined sewer (CS) on Osborne Street, a 450mm conc CS on Woodward Avenue. In the closed Glasgow Avenue Row there is a 450mm sewer in the centre, a 1050/1200mm conc land drainage sewer (LDS) to the north of the CS, and a 1350 conc LDS to the south of the CS. All of the wastewater sewer from the existing and proposed site will connect to one of the site adjacent CS on Osborne Street or Woodward Avenue, both combines sewer flows to a 600mm conc CS on Osborne Street, south of Woodward Avenue.

The non-residential wastewater flow contributions were estimated using the guidelines from the City, and Harmon’s Peaking Factors were applied for population based flows.

Average Dry Weather Flow (ADWF)

Peak Dry Weather Flow (PDWF) = ADWF x Harmon’s Peaking Factor

Peak Wet Weather Flow (PWWF) = PDWF + Extraneous Flows

Harmon’s Peaking Factor=1+ $\frac{14}{\left(4+(P/1000)^{0.5}\right)}$

<https://legacy.winnipeg.ca/waterandwaste/dept/wastewaterFlow.stm>

<https://legacy.winnipeg.ca/waterandwaste/pdfs/water/WW%20Flow%20Tables.pdf>

Pre-development wastewater flows are estimated in Table 1.

Table 1: Pre-Development Wastewater Flows (Estimated)

Description	Units	Population per unit	Rate (L/day)	ADWF (L/day)	ADWF (L/sec)	PDWF* (L/sec)	PWWF** (L/sec)
Vacant	0	0	0	0	0	0	0.006

*Peaking Factor is not applicable for vacant sites

**Extraneous Flows are 4.55 L/min/weeping tile (NA), 12 L/min/MH (NA), and 2,200 L/ha/day for groundwater

Post-development wastewater flows were estimated in Table 2. The post development site was based on 56 MFU.

Table 2: Post-Development Wastewater Flows

Description	Units	Population per unit	Rate (L/day)	ADWF (L/day)	ADWF (L/sec)	PDWF* (L/sec)	PWWF** (L/sec)
MFU	100	2.3	270	62,100	-	-	-
2-Storey Office	1	50	38	1,900	-	-	-
Total	-	-	-	64,000	0.741	3.030	3.036

*Peaking Factor is 4.21 for populations based flows, no commercial properties were factored in.

**Extraneous Flows are 4.55 L/min/weeping tile (NA), 12 L/min/MH (NA), and 2,200 L/ha/day for groundwater

Land Drainage Servicing

The existing site has two catch basins (CB) in the NE corner of the site. It's unknown where the CBs connect to, re-use could be explored by the detailed Civil design consultant. Large section of the existing site drain overland, east to Osborne Street, and south to Woodward Avenue.

The post development site is required to connect to the 1350mm LDS to the north in the Glasgow Avenue RoW. The 1350mm is about 7.2m deep, which should be acceptable for the future detailed civil design.

The allowable peak land drainage discharge flow was calculated using the Rational Method in accordance with the MacLaren Manual (1974).

<https://legacy.winnipeg.ca/waterandwaste/pdfs/drainageFlooding/MaclarenDrainageCriteriaManual.pdf>

$$Q = C * i * A / 3600$$

Q = 5yr Allowable Peak Land Drainage Flow (L/s)

C = Drainage Coefficient provided by the City = (0.35)

i = rainfall intensity = 109.5 mm/hr for 5-year storm event with time of concentration of 10 minutes

A = Site Area = (2,305.26 m²).

$$Q_{\text{allowable}} = 24.54 \text{ L/s}$$

For the post development analysis, it was assumed 20% of the site would be landscape, and 80% of the site would be building roof, parking lots, and hardscape. For the landscape, 50% of the area would be overland flow to the adjacent street systems. For the hard surfacing, 4% of the area would be overland flow to the adjacent street systems. The remaining 50% of the landscape and 94% of the hard surfacing would account for the controlled flow catchment area.

	C01 Overland Flow	C02 Controlled	Total Site
Landscape Area, m ²	230.53	230.53	461.05
Hard Surface Area, m ²	73.77	1770.45	1844.22
Total Area, m ²	304.30	2000.97	2305.27
Weighted C	0.33	0.81	0.75
intensity i, mm/hr (10 min ToC)	154.33	154.33	154.33
Q 25yr, L/s	4.33	69.79	74.12
Max Controlled Flow	-	20.21	-

$$\text{Max Controlled Flow} = Q_{\text{allowable}} - \text{overland flow} = 24.54 - 4.33 = 20.21 \text{ L/s}$$

A 75mm orifice at 2.9m of head will control the site flow to 20.0 L/s. The detailed civil design should be able to accommodate a similar flow to this.

Based on the catchment area and the flow restriction, a storage volume of 48m³ should be provided, see Appendix A. The stormwater storage would likely be in the surface parking lots. If the

site wanted to include only surface storage, a parking area of 400m² should allow for this, if the shape was optimized to be half storage on a sloped surface down to a central catch basin and half storage up a curb face. The depth would be 0.20m, the maximum allowed depth of storage in a parking lot is 0.30m. If the site has controlled flow roof drains, the stormwater storage for the parking lot would be reduced.

$$V = \text{depth} \times \text{Area} + \text{depth} \times \text{Area} / 3 = 0.10 \times 400 + 0.10 \times 400 / 3 = 53.3 \text{m}^3$$

There is potential that the gravel parking lot to the west of the site area is included in an expanded site area. The allowable flow would need to be recalculated based on the new area, and the runoff from the larger site would need to be controlled. The detailed Civil consultant should be okay to prepare this summary as part of the detailed design.

Combined Sewer Overflows

The Environmental Act License #3042 (EAL3042) “Clause 8” condition will be critical for these projects as sites are required to demonstrate a reduction in combined sewer flow to receive a Development Permit.

Pre-development flows consist of the wastewater PWWF, and the land drainage Qallowable. Post Development Flows consist of wastewater PWWF, and there is a likelihood of the direct overland land drainage runoff contributing to the combined sewer flow.

Description	PWWD (L/s)	Land Drainage (L/s)	Total Combined Sewer (L/s)
Pre Development	0.006	24.54	24.55
Post Development	3.04	4.33	7.37

*Pre Land Drainage 5yr allowable, Post Land Drainage 25yr peak.

As long as the proposed site can demonstrate a similar non-increase of combined sewer flows the EAL3042 “Clause 8” conditions will be satisfied.

Water Servicing

Based on the City provided Available Fire Flows (see Figure 2), the available flow for fire fighting is 255 L/s.

As the footprint of the proposed building is not known at this time, a detailed analysis of the required fire flows using the Fire Underwriting Survey (FUS) is not able to be completed. Available flow exceeds the City’s target for multi-family development.

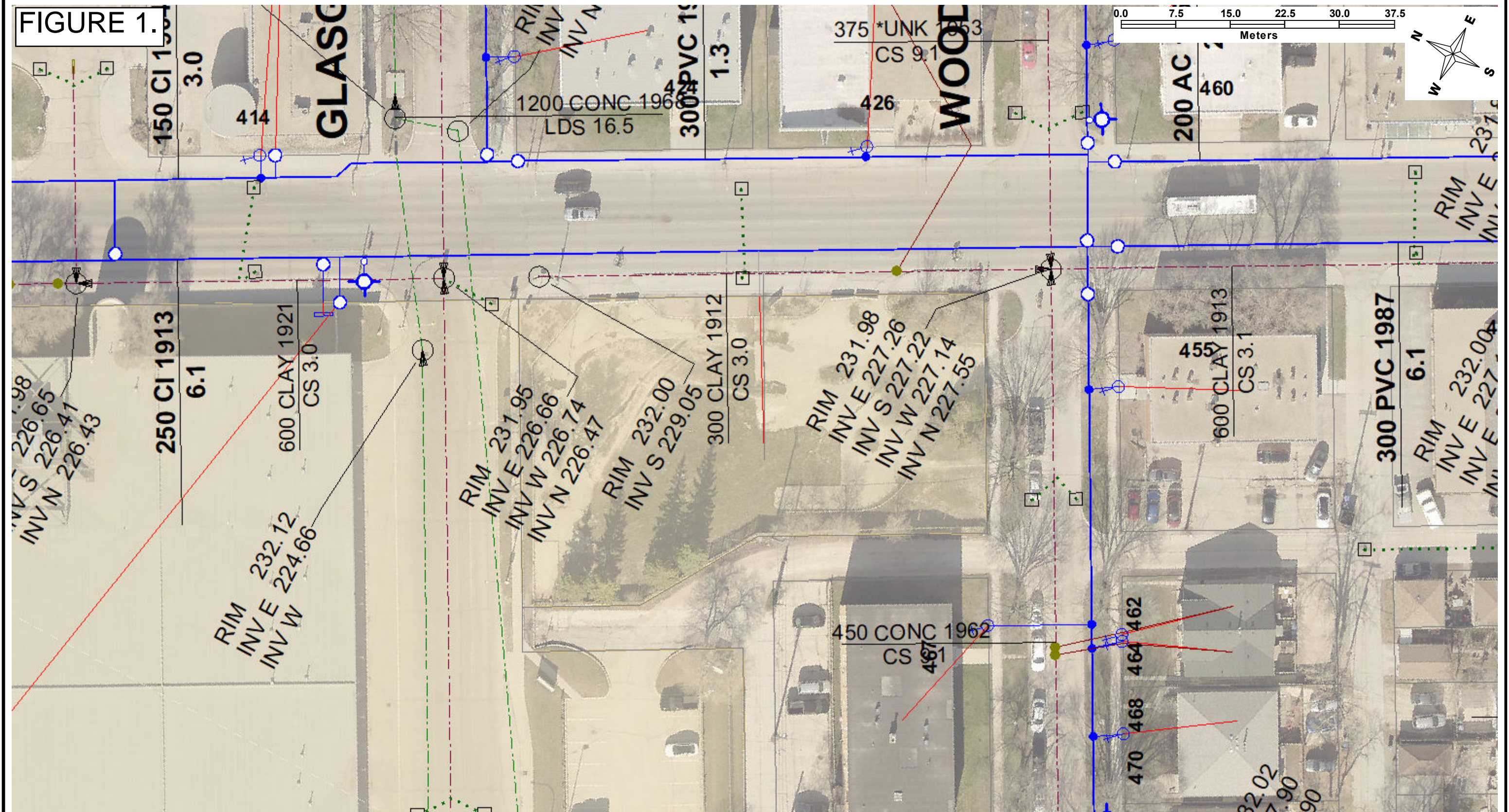
No watermain upgrades should be required to service this development.

<https://legacy.winnipeg.ca/waterandwaste/dept/waterdemand.stm>

<https://www.fireunderwriters.ca/assets/img/Water%20Supply%20for%20Public%20Fire%20Protection%20in%20Canada%202020.pdf>

FIGURES

FIGURE 1.



CAUTION:
This is for information only.
There is no guarantee as to the accuracy or completeness of the data.
For record drawing information, please contact
Underground Structures at 204-986-6401 or
by e-mail at: ugsinforequest@winnipeg.ca

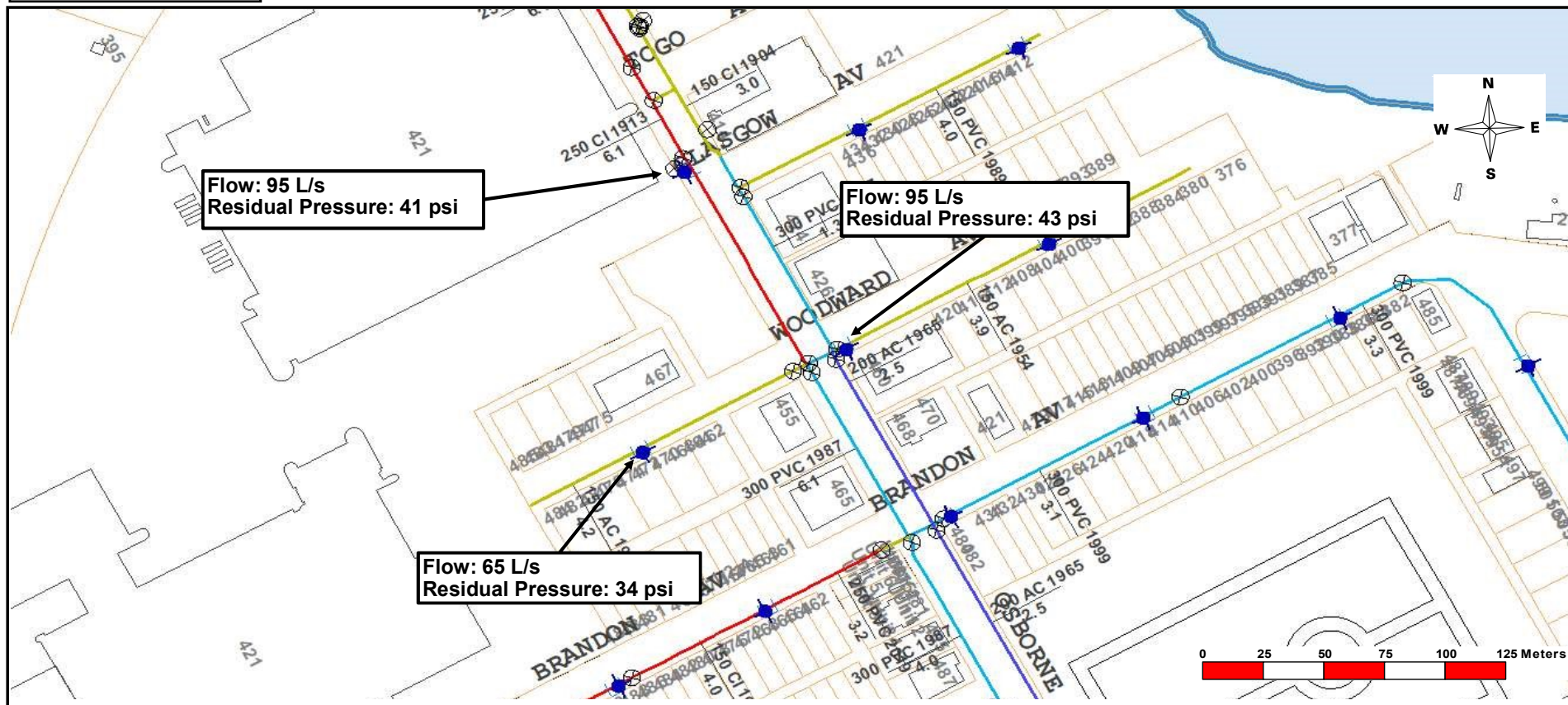
- | WATER | | SEWER | |
|------------|--------------|------------------|------------------------|
| Hydrant | Anode | Man Hole | Combined Land Drainage |
| Valve, LH | Plug | Catch Basin | Waste Water |
| Valve, RH | Service Corp | Curb Inlet | Storm Relief |
| Valve, Air | | Plug | Interceptor |
| Curb Stop | | Service Junction | Force Main |
| | | | CB Lead |
| Watermain | | | |
| Feedermain | | | |
| Aqueduct | | | |

Print Date: June 11, 2024
Map Not to Scale

FIGURE 2.

Report for: 425 Osborne St

September 18, 2024



Total Available Fire Flow: 255 L/s

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APPENDIX A

ISOCHRONE STORMWATER STORAGE CALCULATIONS

ISOCHRON METHOD

Methodology for calculating impervious and pervious runoff from a site.

PROJECT: 24-1128
LOCATION: 425 Osborne St
DATE: January 6, 2025

i) Impervious area, surface storage capacity

0.10

Total Impervious Area

0.44 acres

Total Pervious Area

0.06 acres

Total Area

0.494 acres

Allowable runoff

0.7060 cfs

Required Site Storage (ft³)

1686 ft³

Required Site Storage (m³)

47.7 m³

Horton Equation

imperial		metric used in SWMM	
fo (in/hr)	3.00	fo (mm/hr)	75
fc (in/hr)	0.118	fc (mm/hr)	3
k (1/min)	-0.069	k (1/sec)	-0.00115

Allowable offsite runoff (5yr storm)

Q = cIA	0.706 cfs
Enter "C" Value =	NA
Enter from 5 year storm "I" =	4.300
A =	0.494 In Acres

C value Assigned by City of Winnipeg

Please use a Time of Concentration of 10 min
for Commercial developments

Editable fields

City of Wpg 25 yr storm

Time	25 yr discretized storm ²	rainfall depth	sum of rainfall depths
(min)	(in/hr)	(in)	(in)
0	0.00	0.00	0.00
5	0.12	0.01	0.01
10	0.13	0.01	0.02
15	0.15	0.01	0.03
20	0.17	0.01	0.05
25	0.19	0.02	0.06
30	0.21	0.02	0.08
35	0.23	0.02	0.10
40	0.26	0.02	0.12
45	0.29	0.02	0.15
50	0.33	0.03	0.17
55	0.42	0.04	0.21
60	0.53	0.04	0.25
65	0.76	0.06	0.32
70	1.24	0.10	0.42
75	2.96	0.25	0.67
80	7.86	0.66	1.32
85	3.93	0.33	1.65
90	2.29	0.19	1.84
95	1.54	0.13	1.97
100	1.17	0.10	2.07
105	0.92	0.08	2.14
110	0.75	0.06	2.20
115	0.65	0.05	2.26
120	0.58	0.05	2.31
125	0.51	0.04	2.35
130	0.45	0.04	2.39
135	0.40	0.03	2.42
140	0.35	0.03	2.45
145	0.30	0.03	2.47
150	0.26	0.02	2.50
155	0.22	0.02	2.51
160	0.19	0.02	2.53
165	0.17	0.01	2.54
170	0.16	0.01	2.56
175	0.15	0.01	2.57
180	0.14	0.01	2.58
185	0.13	0.01	2.59
190	0.12	0.01	2.60
195	0.12	0.01	2.61

2.61

Pervious Flow Calculation

Impervious runoff	net infiltration ¹	intensity after infiltration	pervious runoff	total per. + imp. flow	allowable discharge offsite	net runoff requiring storage	mass sum of storage
(cfs)	(in/hr)	(in/hr)	(cfs)	(cfs)	(cfs)	(cfs)	ft³
0.00	3.00	0.00	0.00	0.00	0.00	0.00	0
0.00	2.16	0.00	0.00	0.00	0.00	0.00	0
0.00	1.56	0.00	0.00	0.00	0.00	0.00	0
0.00	1.14	0.00	0.00	0.00	0.00	0.00	0
0.00	0.84	0.00	0.00	0.00	0.00	0.00	0
0.00	0.63	0.00	0.00	0.00	0.00	0.00	0
0.00	0.48	0.00	0.00	0.00	0.00	0.00	0
0.00	0.38	0.00	0.00	0.00	0.00	0.00	0
0.11	0.30	0.00	0.00	0.11	0.11	0.00	0
0.13	0.25	0.04	0.00	0.13	0.13	0.00	0
0.14	0.21	0.12	0.01	0.15	0.15	0.00	0
0.18	0.18	0.24	0.01	0.20	0.20	0.00	0
0.23	0.16	0.37	0.02	0.25	0.25	0.00	0
0.33	0.15	0.61	0.03	0.37	0.37	0.00	0
0.54	0.14	1.10	0.06	0.61	0.61	0.00	0
1.29	0.13	2.83	0.16	1.46	0.71	0.75	225
3.44	0.13	7.73	0.44	3.88	0.71	3.17	1177
1.72	0.13	3.80	0.22	1.94	0.71	1.23	1546
1.00	0.12	2.17	0.12	1.13	0.71	0.42	1672
0.67	0.12	1.42	0.08	0.75	0.71	0.05	1686
0.51	0.12	1.05	0.06	0.57	0.57	0.00	1686
0.40	0.12	0.80	0.05	0.45	0.45	0.00	1686
0.33	0.12	0.63	0.04	0.36	0.36	0.00	1686
0.28	0.12	0.53	0.03	0.31	0.31	0.00	1686
0.25	0.12	0.46	0.03	0.28	0.28	0.00	1686
0.22	0.12	0.39	0.02	0.25	0.25	0.00	1686
0.20	0.12	0.33	0.02	0.22	0.22	0.00	1686
0.17	0.12	0.28	0.02	0.19	0.19	0.00	1686
0.15	0.12	0.23	0.01	0.17	0.17	0.00	1686
0.13	0.12	0.18	0.01	0.14	0.14	0.00	1686
0.11	0.12	0.14	0.01	0.12	0.12	0.00	1686
0.10	0.12	0.10	0.01	0.10	0.10	0.00	1686
0.08	0.12	0.07	0.00	0.09	0.09	0.00	1686
0.07	0.12	0.05	0.00	0.08	0.08	0.00	1686
0.07	0.12	0.04	0.00	0.07	0.07	0.00	1686
0.07	0.12	0.03	0.00	0.07	0.07	0.00	1686
0.06	0.12	0.02	0.00	0.06	0.06	0.00	1686
0.06	0.12	0.01	0.00	0.06	0.06	0.00	1686
0.05	0.12	0.00	0.00	0.05	0.05	0.00	1686
0.05	0.12	0.00	0.00	0.05	0.05	0.00	1686

GOAL SEEK
MACRO

20.00 L/s =
0.71 Cfs

This document is not an official survey unless it bears the signature (in blue ink) and/or seal of the Manitoba Land Surveyor whose authority it was prepared under. It is at the discretion of Barnes & Duncan to issue additional copies of documents on a case by case basis.



6 DONALD STREET
WINNIPEG, MANITOBA
R3L 0K6

CLIENT:
CITY OF WINNIPEG

425 OSBORNE STREET
WINNIPEG, MANITOBA

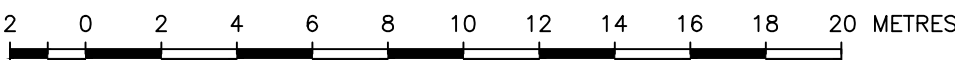
PLAN OF TOPOGRAPHIC SURVEY
OF PART OF
RIVER LOTS 28 AND 29
PARISH OF ST. BONIFACE

BEING

LOTS 1 TO 3, BLOCK 3, PLAN 301 AND
PART LOTS 29 AND 30 AND LOTS 31 AND 32, BLOCK 10,
PLAN 319 AND PARCEL 1, PLAN 8411

Y OF WINNIPEG
MANITOBA

SCALE - 1 : 200



TITLE INFORMATION:

CERTIFICATE OF TITLE: 3116804/1 W.L.T.O. (SEARCH DATE: AUGUST 28, 2024)

REGISTERED OWNER: THE CITY OF WINNIPEG

LEGAL DESCRIPTION: FIRSTLY: LOTS 1, 2 AND 3, BLOCK 3, PLAN 301 WLTO

IN RE 28, PARISH OF ST. BONIFACE

SECONDLY: LOTS 29 TO 32, BLOCK 10, PLAN 319 WLTO
EXC. OUT OF SAID LOTS 29 AND 30, LANE PLAN 8411 WLTO

IN RE 29, PARISH OF ST. BONIFACE

ENCUMBRANCES: INSTRUMENTS NUMBERED 1528163/1, 2971543/1, 3000986/1, 3105520/1, 3121869/1, 3126015/1, 3141696/1, 3756818/1, 4740556/1, 4740557/1, 4740558/1, 4740559/1, 4751262/1, 4877602/1, 4877604/1 AND 5281720/1 ARE REGISTERED AGAINST THE ABOVE CERTIFICATE OF ENCUMBRANCES NOTED HEREIN AND ARE NOT AVAILABLE FOR INFORMATION ONLY AND HAVE NOT BEEN INVESTIGATED AS TO THEIR INTENT OR EXTENT.

LEGEND

Property Lines and Dimensions -----		100.000
Curbs and Gutters -----		CURB
		GUTTER
Manholes -----		(Colour varies by Utility)
Catch Basins -----		
Curb Inlets -----		
Water Valves -----		
Street & Parking Lights -----		
Traffic Lights -----		
Street and Traffic Signs -----		
Power Poles -----		
Guy Wire Anchors -----		
Deciduous Trees -----		
Coniferous Trees -----		

[illegible]

NOTES

All dimensions are in metres and may be converted to feet by multiplying by 3.28084 .
Elevations are referred to Geodetic Datum and are indicated thus _____ x 360
For Geodetic Elevations add 200.0 to all elevations shown.
Elevations are referred to Can-Net benchmark MB_Winnipeg_Wes, Elevation = 241.423 (CGVD28)

Locations of underground structures as shown are based on the best information available, as provided by the City of Winnipeg's Underground Structures Department and Accurate Underground Utility Locating Ltd., but no guarantee is given that all existing utilities are shown or that the given locations are exact.

Confirmation of existence and exact location of all services must be obtained from the individual utilities before proceeding with construction.

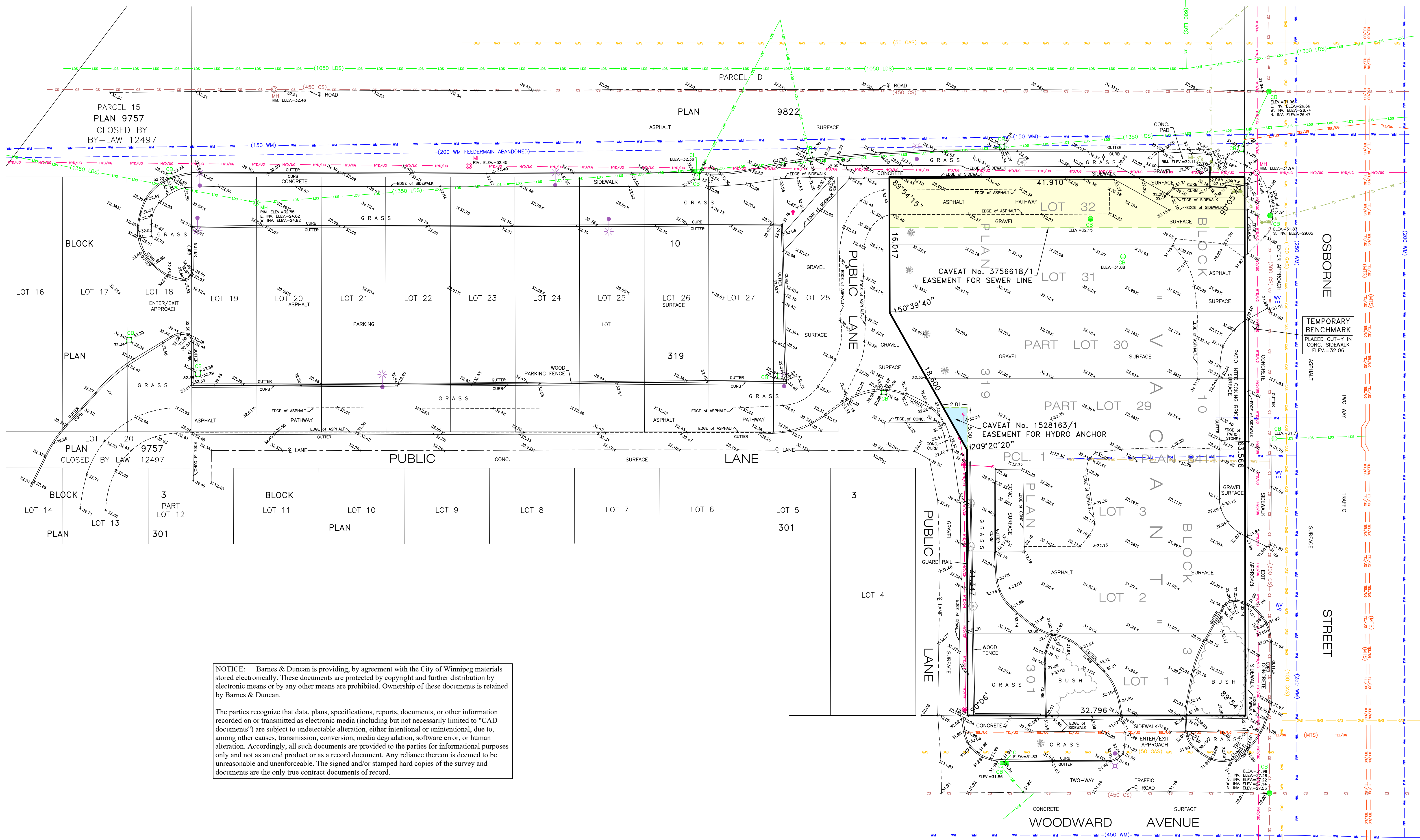
This survey was made between the 2nd day of October and the 4th day of November, 2024.

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JASON A. CROSSLEY, M.L.S.
DATED THIS 14th DAY OF NOVEMBER, 2024

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FILE: 24-1128
DWG: 24-1128-2-TOPC
FB: B&D 1356-133

AN